

BRESSI GARAGE

ARC NO. 1 | 01.10.2022





PROJECT INFORMATION

PROPERTY ADDRESS:
226-232 1st Avenue North

OWNER:
City of Seattle

LESSEE:
365 Group LLC

ARCHITECT:
Generator Studio LLC
T 816.333.6527

HISTORIC PRESERVATION CONSULTANT:
Ron Wright & Associates/Architects
T 206.728.4248

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PROJECT SUMMARY

1. INTRODUCTION

226-232 1st. Avenue North, the Bressi Garage, is a brick commercial building located at the NW corner of 1st Avenue North and Thomas Street in Lower Queen Anne. Bressi Garage was constructed in 1923 by M.C. Heinemann and operated by Dominick Bressi. Following the 1962 World’s Fair and subsequent acquisitions and redevelopment of the surrounding area, Bressi Garage remains as the only building on its block which reflects the historic, pre-World’s Fair Lower Queen Anne neighborhood character.

Designed to accommodate automobiles, Bressi Garage is a single story brick building with a square footprint of roughly 120’ x 120.’ Technically comprised of two buildings with a shared party wall, the building was first used as a parking facility by the city of Seattle. In 1973, the south bay was converted to an artist studio when leased by Pottery Northwest. Later in 1986, Seattle Center remodeled the north bay for use as its gardener’s facility. In recent decades, the historic building has been re-roofed, with added internal columns to support the roof trusses and additional shoring measures to reinforce the load bearing brick walls. As part of the recent renovation of Key Arena into the now Climate Pledge Arena, Bressi Garage and the surrounding parcel was acquired to build the entry to Climate Pledge Arena’s loading dock tunnel, which passes below the SE portion of the Bressi building, then moves north under Thomas St to the Arena.

This building is going to be renovated to better suit its new context in a vibrant, growing urban center and designated arts and cultural district. Adjacent to a celebrated sports and entertainment venue and a gateway point from Uptown into the Seattle Center campus. This update will make the building lively and inviting, so many people can enjoy it. Although the zoning would allow for expansion up to 85’ above the Average Grade Level, the project proposes the addition of a single story above the historic wood trusses and structural deck. The primary level 2 enclosure is proposed to maintain an approximate 38.5’ setback along the west and a 43.75’ setback along the north, with an occupiable roof deck extending along the north end of the new level 2. The reasons for this massing strategy are many: 1) to maintain the historic character of the pedestrian experience along 1st Ave. N and Thomas St, 2) to prioritize the celebration and maintenance of the historic structure, 3) to align with the vertical datum and average heights of the surrounding structures, and 4) to preserve the existing view corridor west along Thomas St. Proposed massing and zoning are presented on pages 14-26.

The project proposes limited intervention at the existing historic facades, maintaining historic entry locations along 1st Ave. N and replacing existing non-historic infills along Thomas St. and the east alley to enhance pedestrian access. The proposed second level enclosure will rest above the historic roof structure, with new structure used to support the buckling existing historic wood trusses.

We are looking for your input on the massing, and guidance on the proposed interventions at the existing facades.



Photograph of the west and north elevations of Bressi Garage, ca. 1936.
Courtesy King County Property Record Card, Puget Sound Regional Archives.
From the Bressi Garage - Seattle Landmark Nomination file no. 198920-1515

PROJECT TEAM

1. INTRODUCTION

TEAM:

Our project team is comprised of experts who can ensure the long term success and longevity of the proposed project, while maintaining the historic character of the Bressi building and providing an expansion that feels rooted in its place, time and context.

GENERATOR STUDIO:

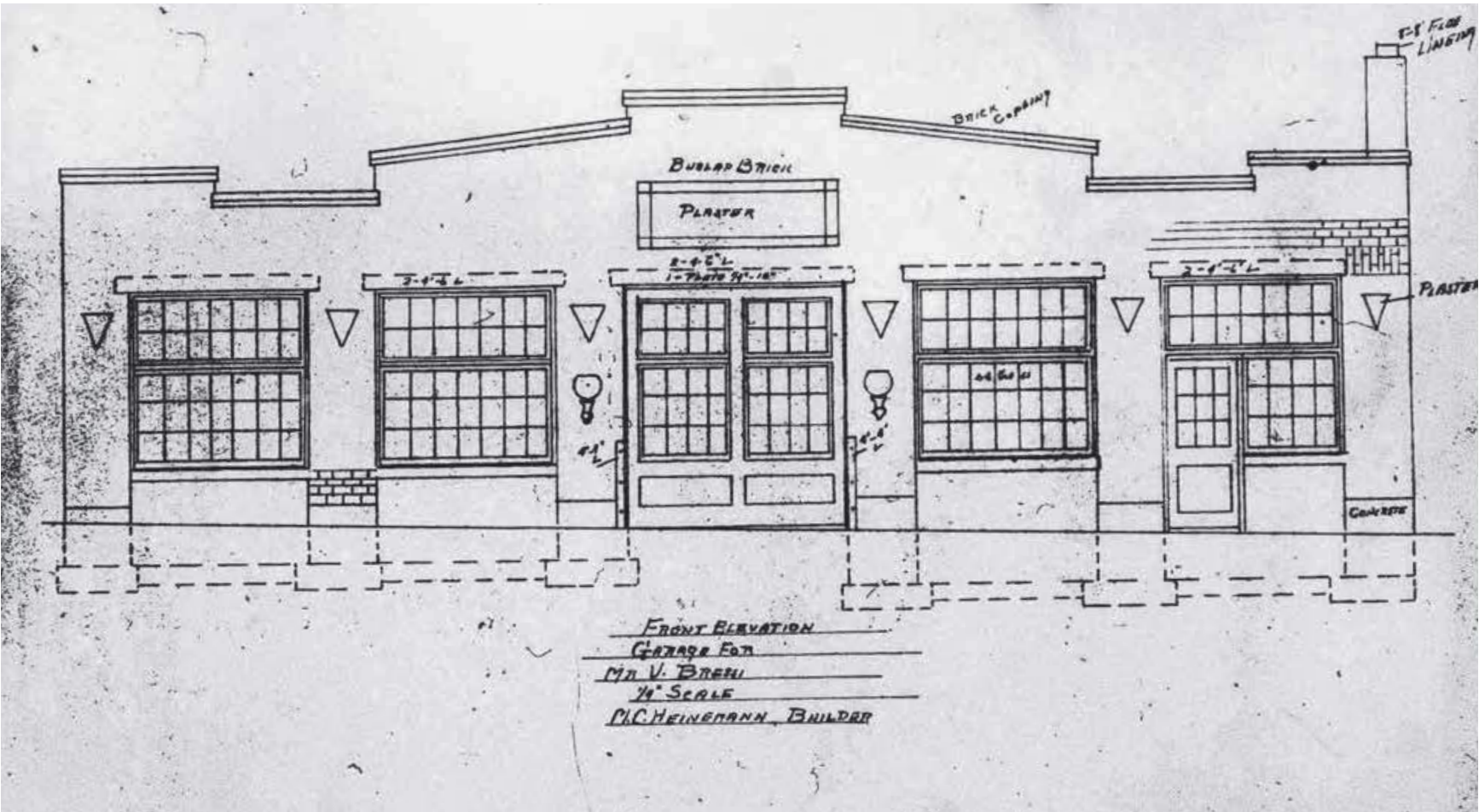
Generator Studio is a Kansas City architecture and interior design firm specializing in lifestyle, venue and live entertainment destinations. We are a group of architects and designers all-consumed with creating experiences and emotion through design. Our diverse portfolio of work is tied together by one thing: hospitality. At Generator, there is no formula for success. We approach each project and client with fresh eyes focused on creating developments that are inherently economically and environmentally sustainable.

Generator Studio is the architect of record for the proposed Bressi Garage renovation project, and recently completed the Kraken Community Iceplex in Northgate.

RON WRIGHT & ASSOCIATES/ARCHITECTS:

Ron Wright is the Historic Preservation Consultant for the proposed Bressi Garage renovations.

Founded in 1994, Ron Wright & Associates/Architects, P.S. (RWAA) is an established leader in the development of specialized projects for both public and private clients, with a specific focus on historic preservation projects. Our experience includes numerous projects within the City of Seattle, including the restoration of Union Station and Washington Hall, both awarded National Preservation Awards. We are completely versed in the interpretation of the Secretary of the Interior’s Standards for Rehabilitation, and the applicable Guidelines for Rehabilitating Historic Buildings, and have completed numerous projects reviewed by the Landmarks Preservation Board, the Pioneer Square Preservation Board, the International Special Review District, and the Pike Place Market Historical Commission. Other notable projects include the restoration of the Pioneer Square Pergola and the completion of the Lodge at St Edward State Park, both awarded Washington State Preservation Officer Valerie Sivinski Awards for Outstanding Historic Rehabilitation.



Front elevation, Bressi Garage. March 1923. M.C. Heinemann, Builder.
Courtesy Seattle Department of Planning and Development Microfilm Library.
From the Bressi Garage - Seattle Landmark Nomination file no. 198920-1515

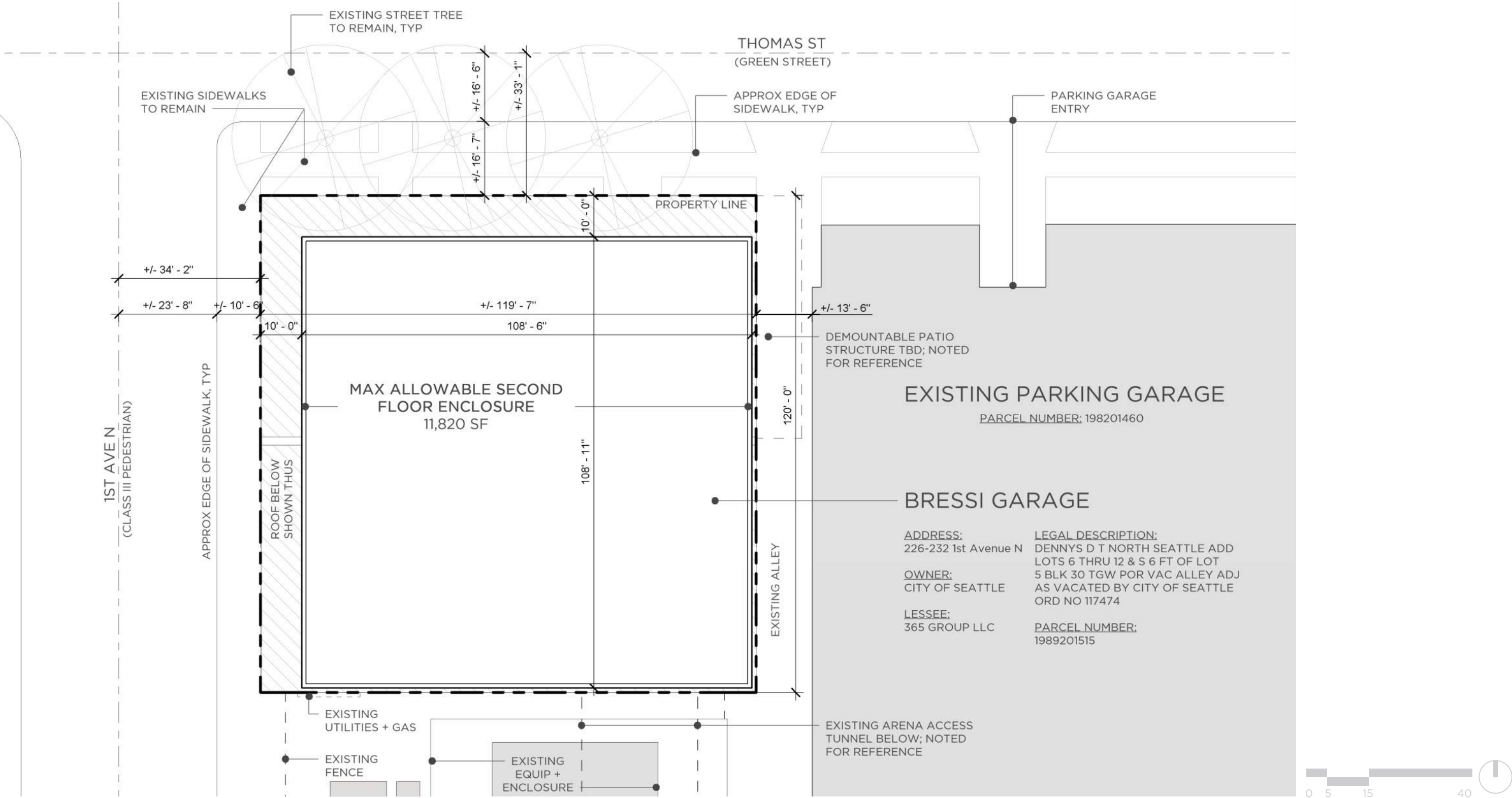
SITE CONTEXT

2. SITE CONDITIONS + PLAN OPTIONS



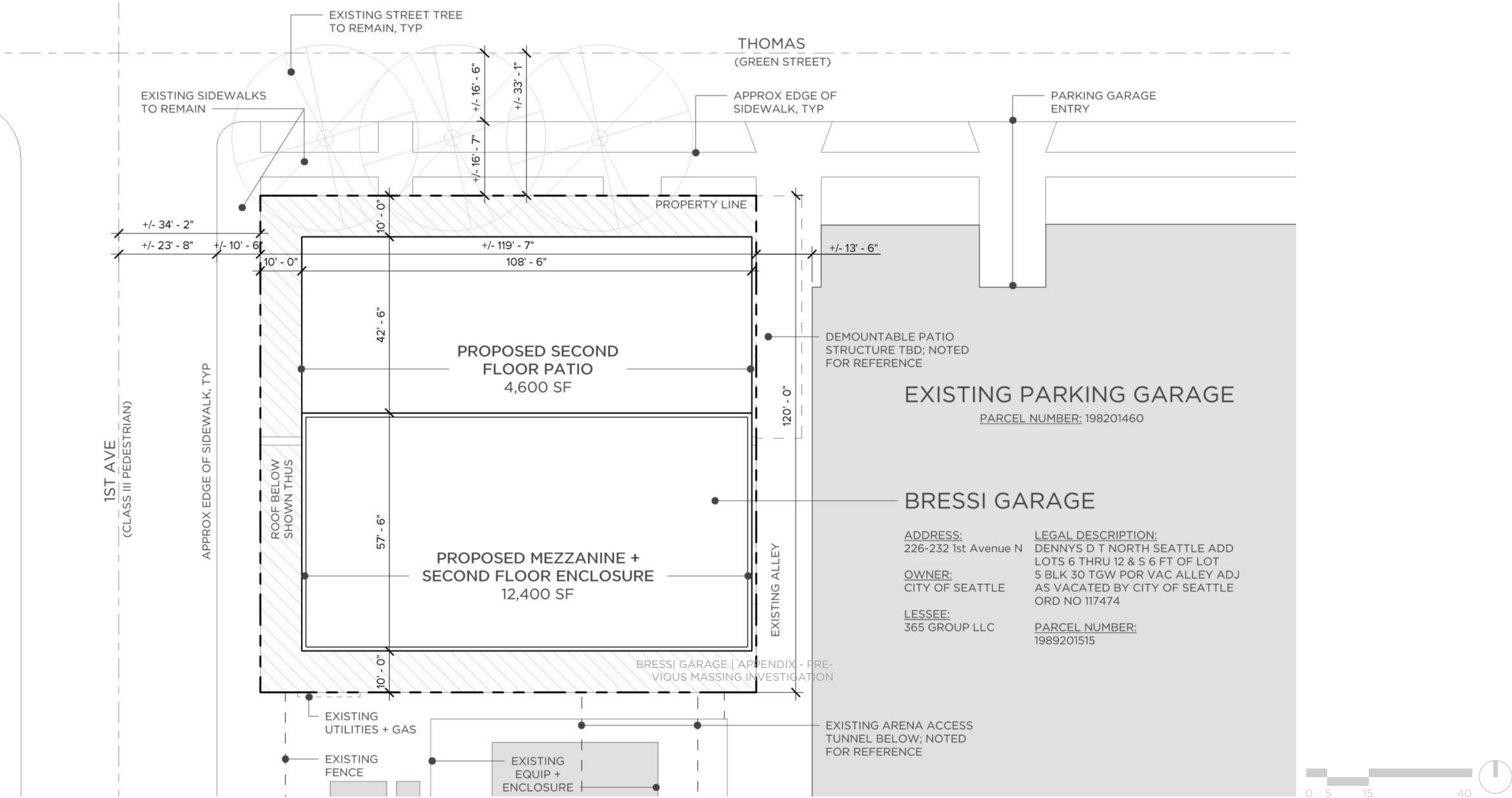
SITE PLAN - ZONING ENVELOPE

2. SITE CONDITIONS + PLAN OPTIONS



SITE PLAN - ALTERNATE OPTION

2. SITE CONDITIONS + PLAN OPTIONS



2. SITE CONDITIONS + PLAN OPTIONS



EXISTING CONDITIONS

3. PHOTOGRAPHS



Southwest corner along 1st Ave N



Northwest corner along 1st Ave N



Existing alley and facade infill at west facade



Existing courtyard in north building



Existing north facade along Thomas St

EXISTING CONDITIONS

3. PHOTOGRAPHS



Southeast corner along existing alley



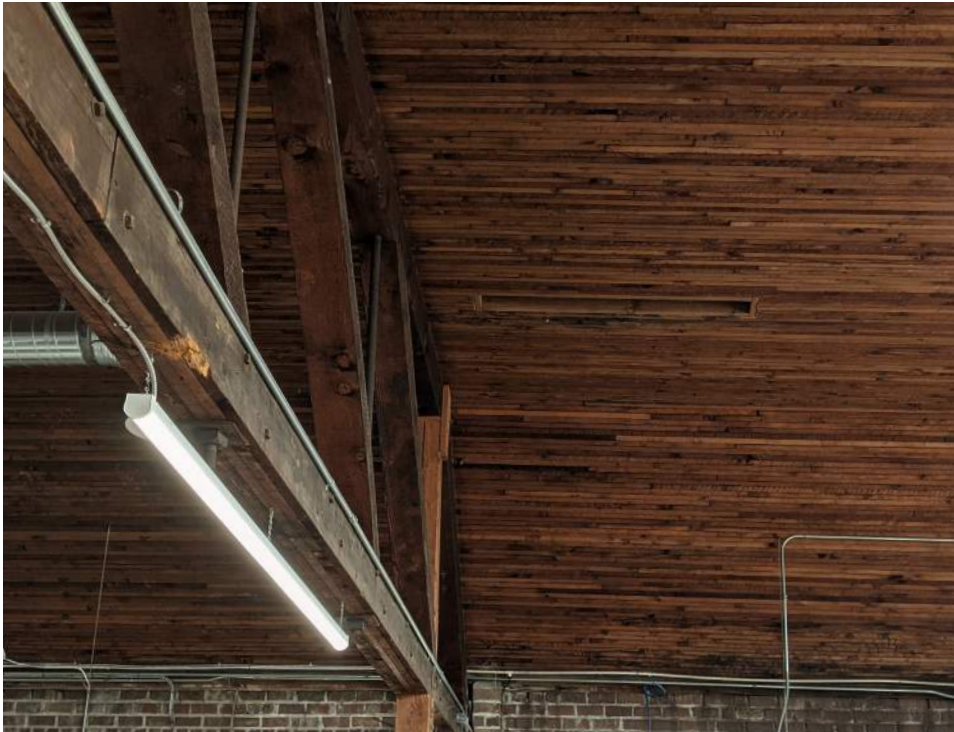
Southwest corner looking east



Existing truss condition at courtyard



Historic truss and roof deck



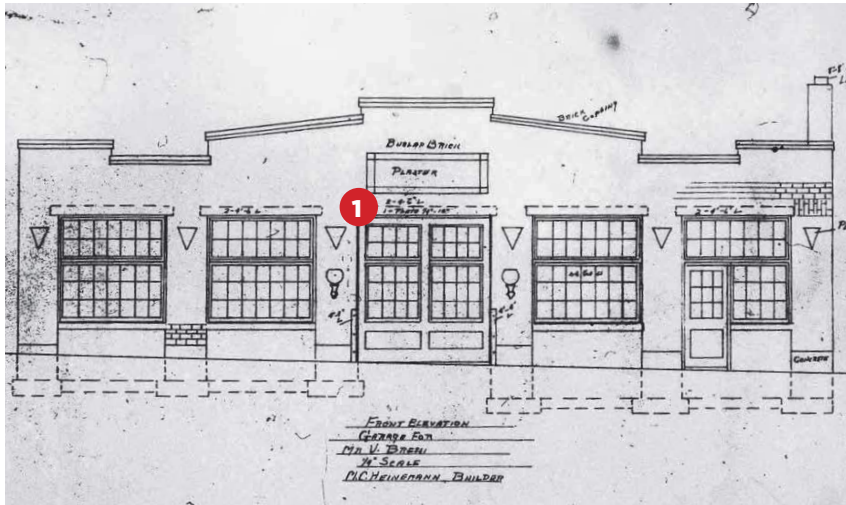
Historic truss and roof deck

WEST ELEVATION CHANGES

4. ALTERATIONS TO EXISTING

Proposed Alterations - West Elevation

Originally there were two vehicle entries into the building on the west facade. At some point the northern entry (#1) was removed and infilled with a window and brick to match the adjacent windows. The other (#2) was demolished to create a portal in which an inset storefront was constructed for entry into the building. The proposed modifications are to replace the window/brick at location #1 with storefront and to demolish the existing inset storefront at location #2 and install a new storefront at the building face. This creates two entry points into the building on the west facade.



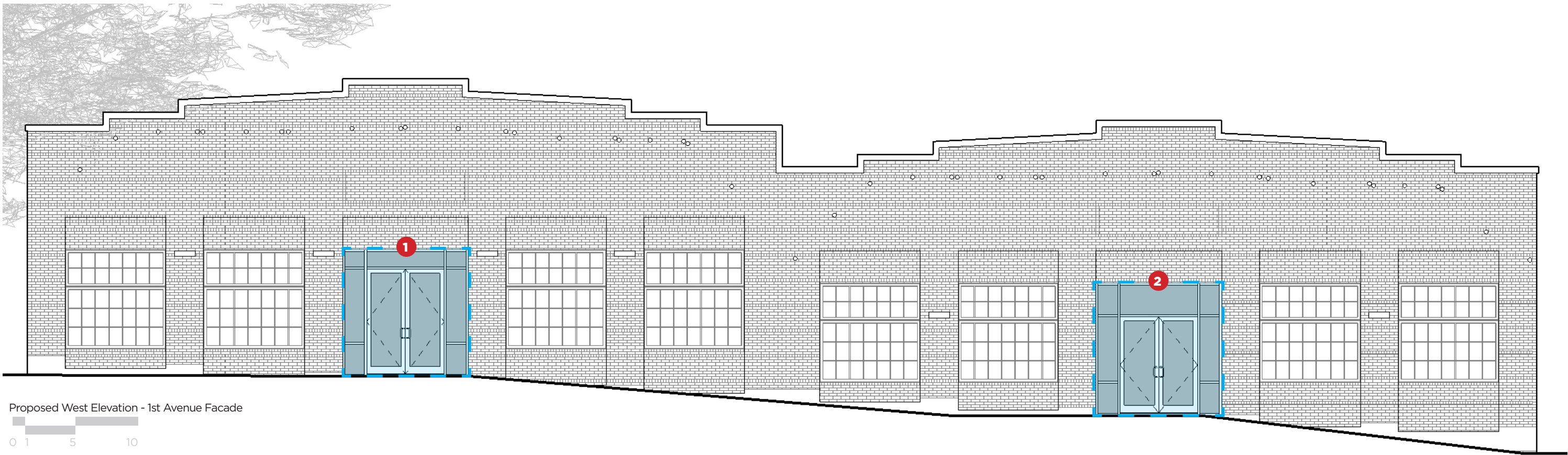
Original West elevation drawing



North building - existing conditions



South building - existing conditions



Proposed West Elevation - 1st Avenue Facade

0 1 5 10

NORTH ELEVATION CHANGES

4. ALTERATIONS TO EXISTING

Proposed Alterations - North Elevation

Currently on the north facade there are two openings into the building. The easternmost (#3) is an overhead door and the westernmost (#4) is a man door with infill brick where a window used to be. At #3 the proposed modification is to remove the overhead door and surrounding brick within this bay and replace it with a storefront entrance. At #4 the proposed modification is to remove the man door and surrounding brick within this bay and replace it with a glazed overhead door. This will bring much more transparency to the north facade and create a connection with Climate Pledge Arena.



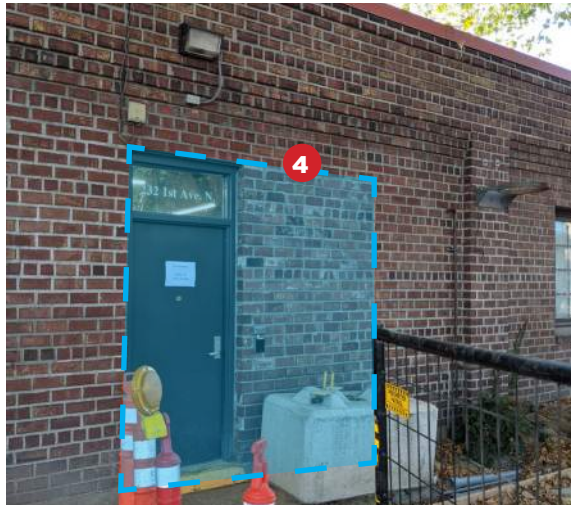
North facade - existing conditions



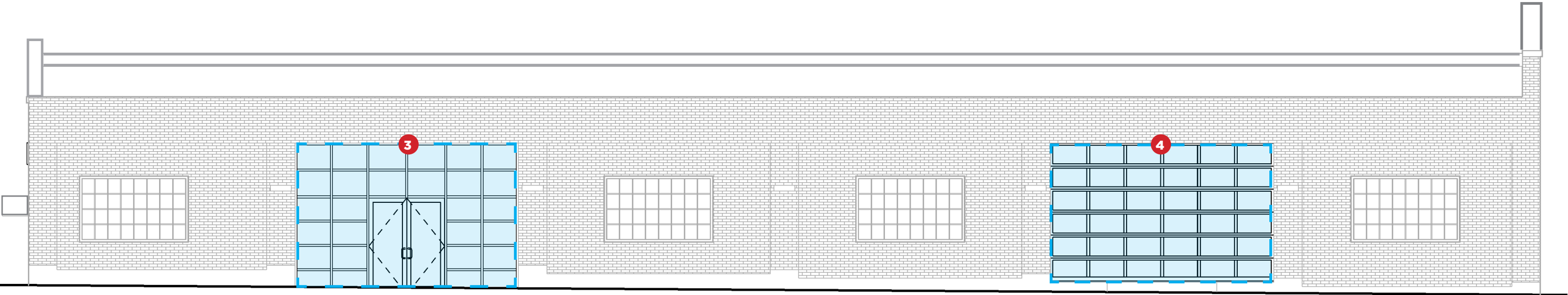
North facade - existing conditions



North facade - existing conditions



North facade - existing conditions



Proposed North Elevation - Thomas Street Facade

0 1 5 10

EAST ELEVATION CHANGES

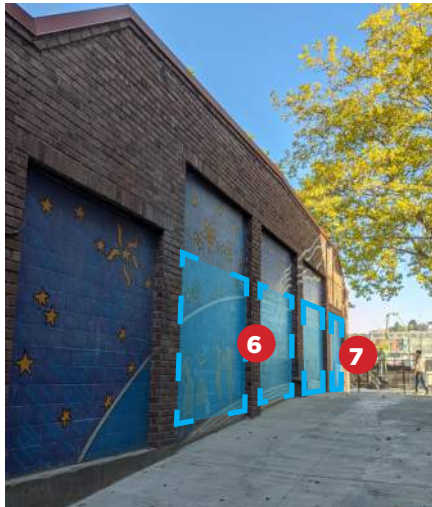
4. ALTERATIONS TO EXISTING

Proposed Alterations - East Elevation

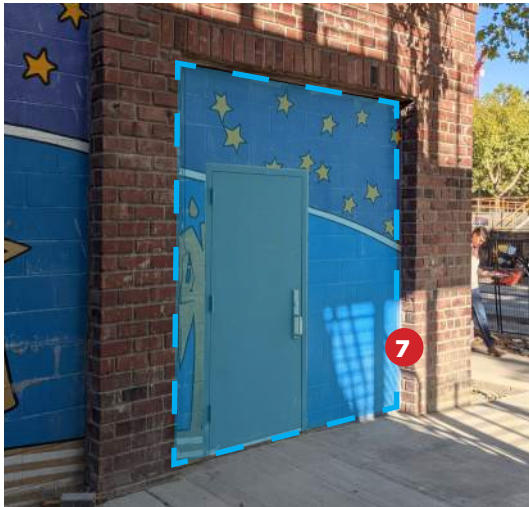
On the East side of the building, large original openings (#6 & #7) in the facade have been infilled with painted CMU. There is building access through a man-door at location #7. There is also a man-door and sliding door at location #5 that are not original to the building. The proposed modifications are to infill #5 with CMU or brick to match existing portions of the east facade. At locations marked #6 we would remove a portion of the existing infill CMU and install glazed overhead doors. At location #7 we would replace the CMU with storefront. This would allow for a building entry at #7 and allow #6's to be opened on nice days to create a connection to the outdoors. The dashed portion below the overhead doors is representative of a potential temporary outdoor patio that could be constructed during nice days to allow for outdoor seating.



East Facade - existing alley conditions



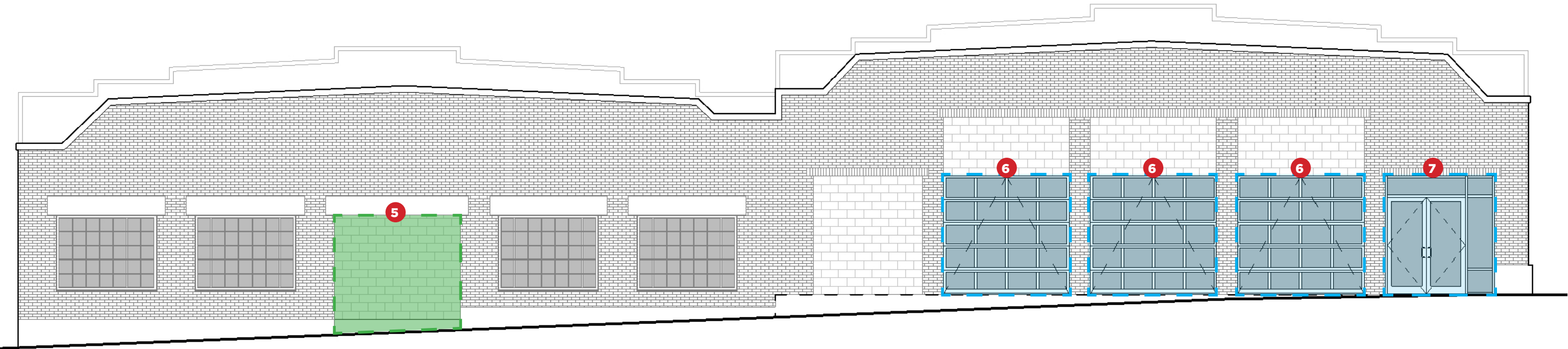
East Facade - existing alley conditions



East Facade - existing alley conditions



East Facade - existing alley conditions



Proposed East Elevation - Alley Facade



SOUTH ELEVATION CHANGES

4. ALTERATIONS TO EXISTING

Proposed Alterations - South Elevation

At one time, a metal roof extended from the south facade. It has since been removed, but some metal flashing still remains. The proposed modifications on the south facade are to remove the metal flashing (#12) and also cut in two man-doors (one double #10 and one single #11) for building operations. The dashed area at the southwest corner indicates the approximate location of the existing gas equipment to remain.



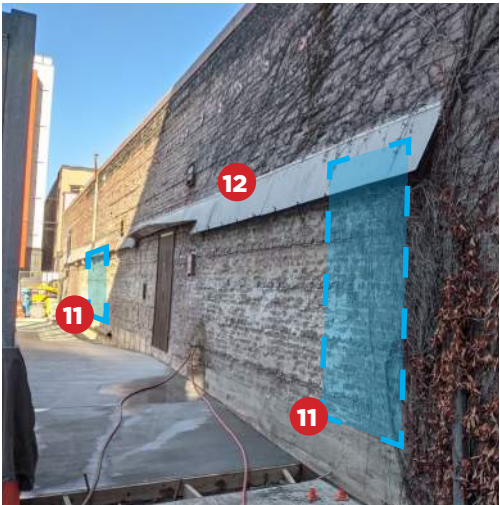
South Facade - existing gas equipment
Shown dashed below



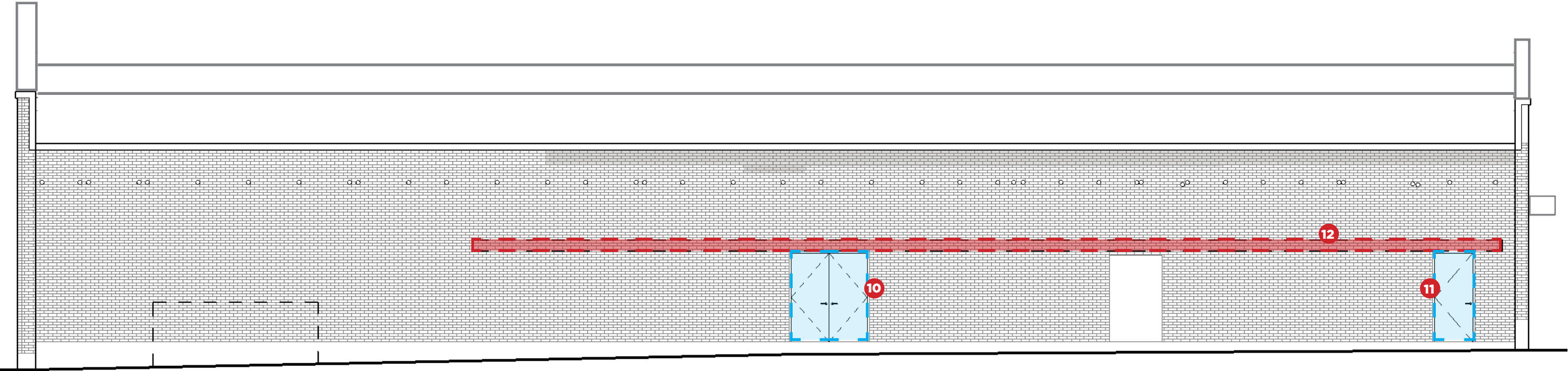
South Facade - existing conditions



South Facade - existing conditions



South Facade - existing conditions



Proposed South Elevation
0 1 5 10

EXISTING ROOF CHANGES

4. ALTERATIONS TO EXISTING

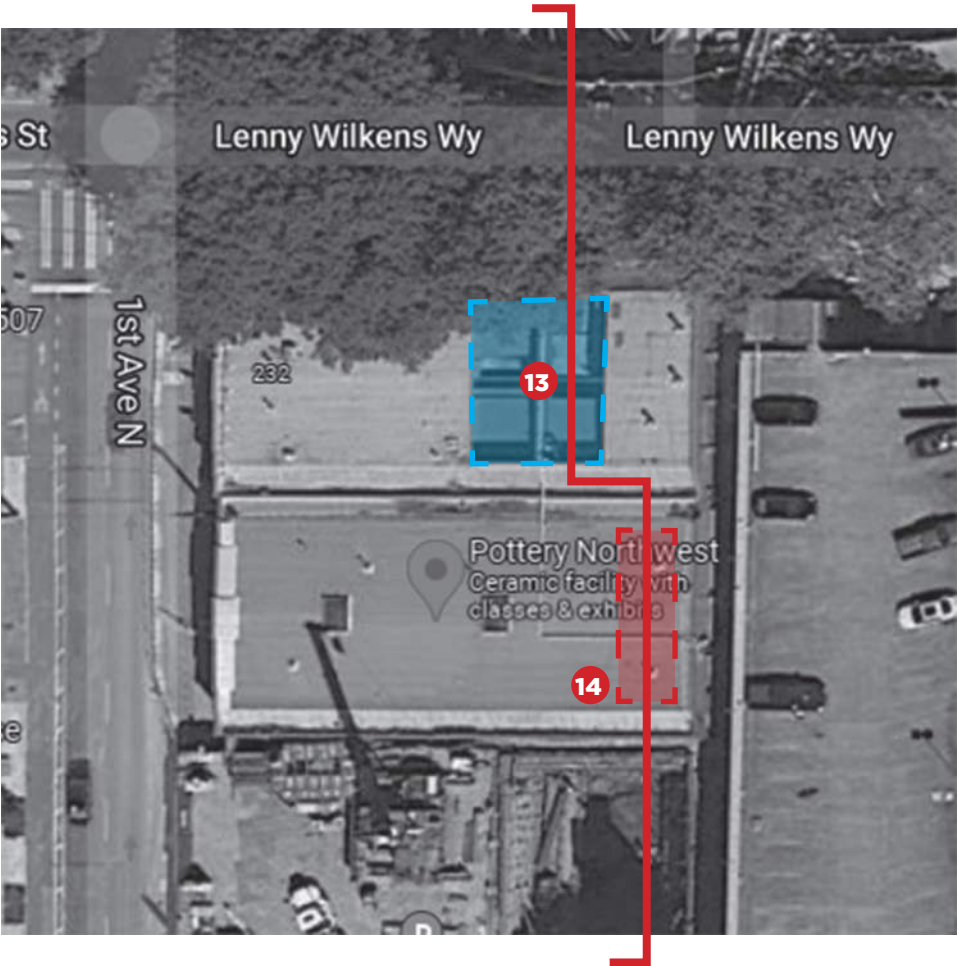
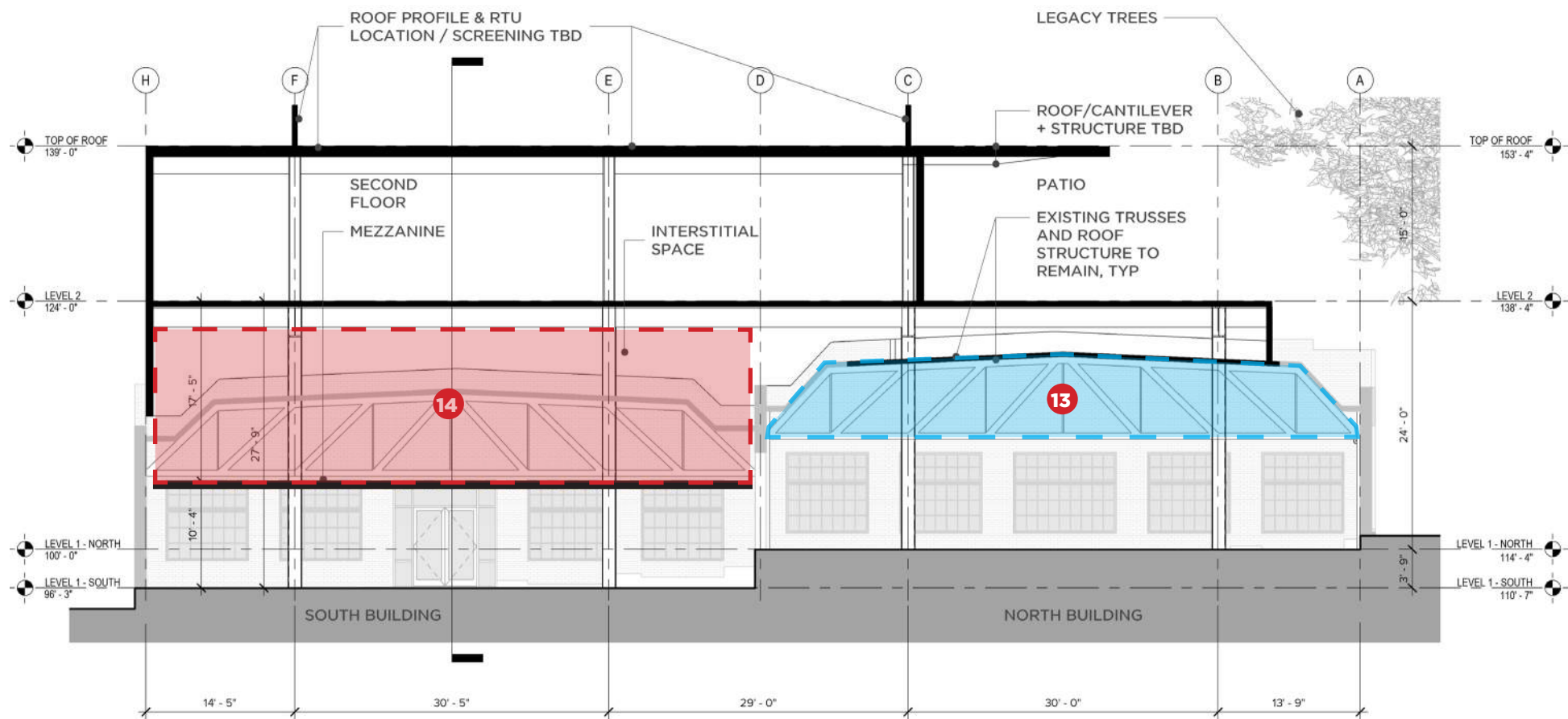
Proposed Alterations - Roof

Currently in the northeast portion of the roof there are openings (#13) that were created during a previous alteration to the building. The exposed trusses were clad with corrugated metal panel. The proposed alteration is to remove the metal panel from the trusses and infill the roof to match the existing roof. Returning it to its original form.

We are also proposing to remove a section of roof (#14) in the southeast corner of the building to create a mezzanine space that will house operation spaces for the new building use. The size of the opening will be one structural bay or half of the existing openings in the northeast corner. It will create usable space while allowing the rest of the roof and trusses to be exposed as originally constructed.



Roof - existing conditions



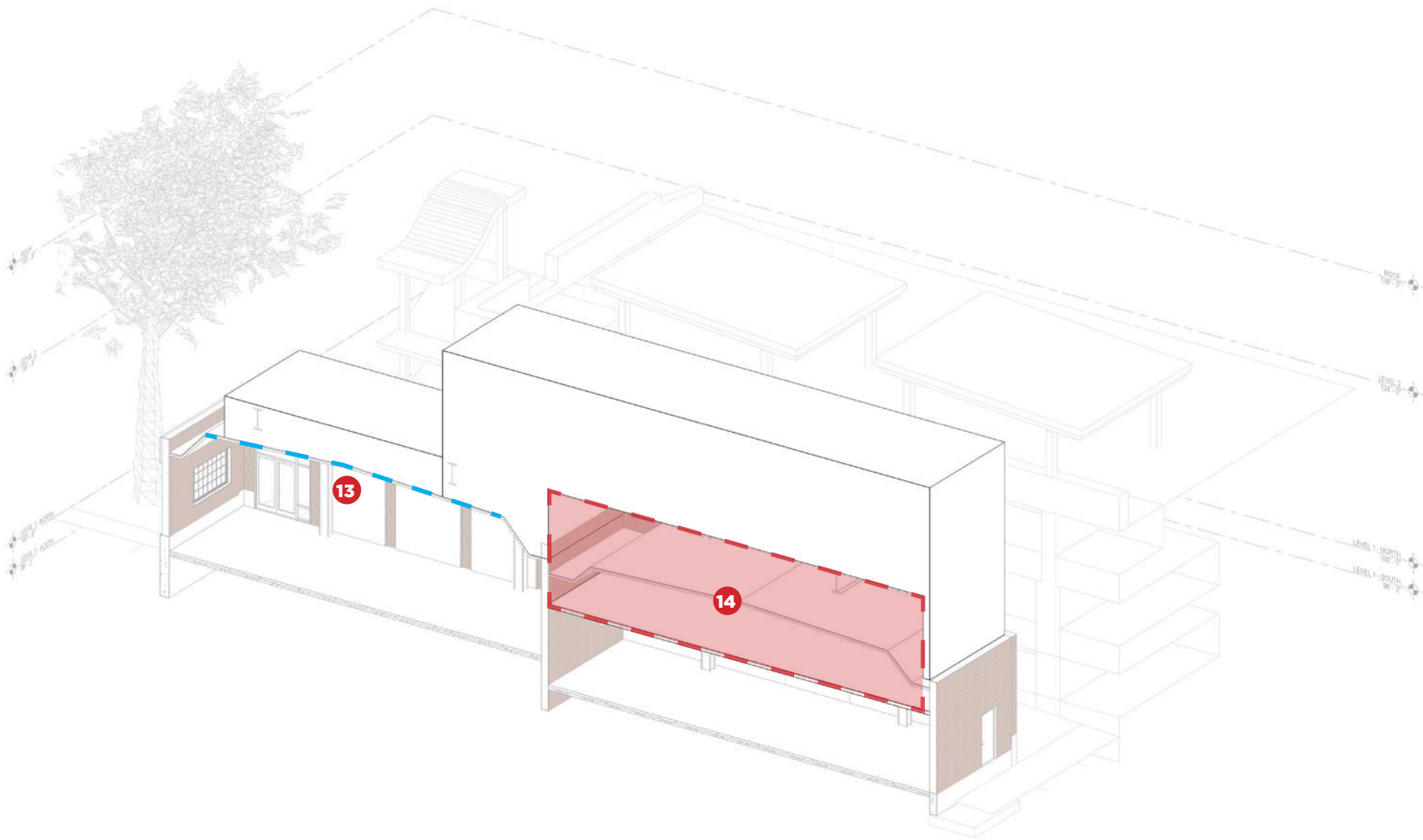
EXISTING ROOF CHANGES

4. ALTERATIONS TO EXISTING

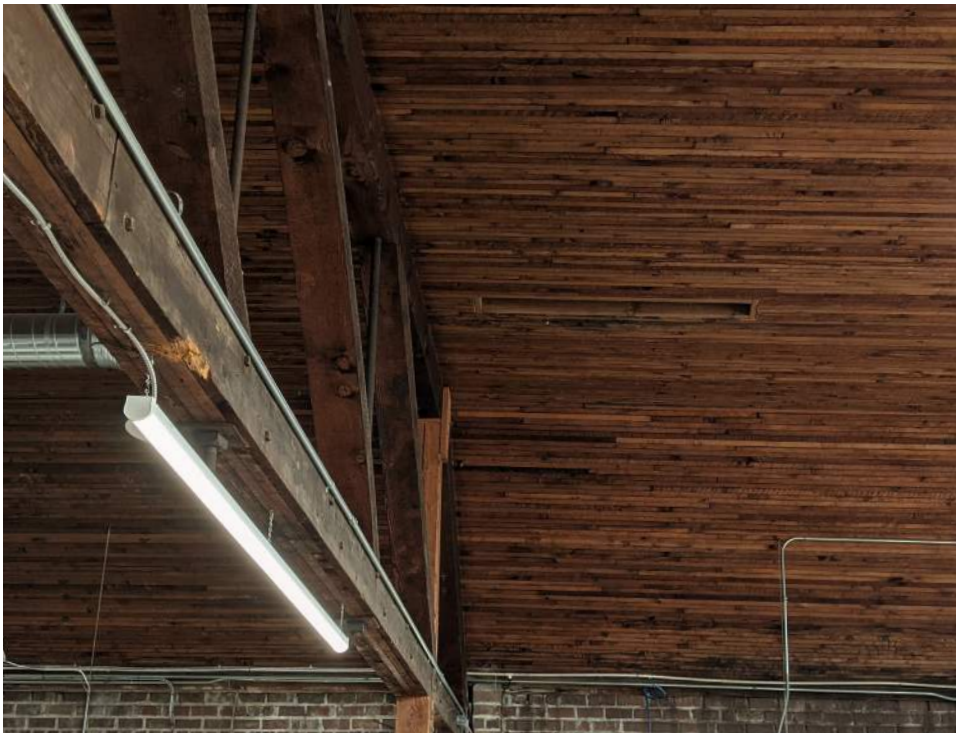
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13 Roof - existing conditions



13 Historic truss and roof deck

PROJECT INFORMATION

5. ZONING ENVELOPE

Site Location
226-232 1st Avenue N.

Parcel No.
1989201515

Site Zoning
SM-UP 85 (M)

Overlays
Not Applicable

Lot Area
14,330 Gross Square Feet

Floor Area Ratio
5.25 per 23.48.720 Table A

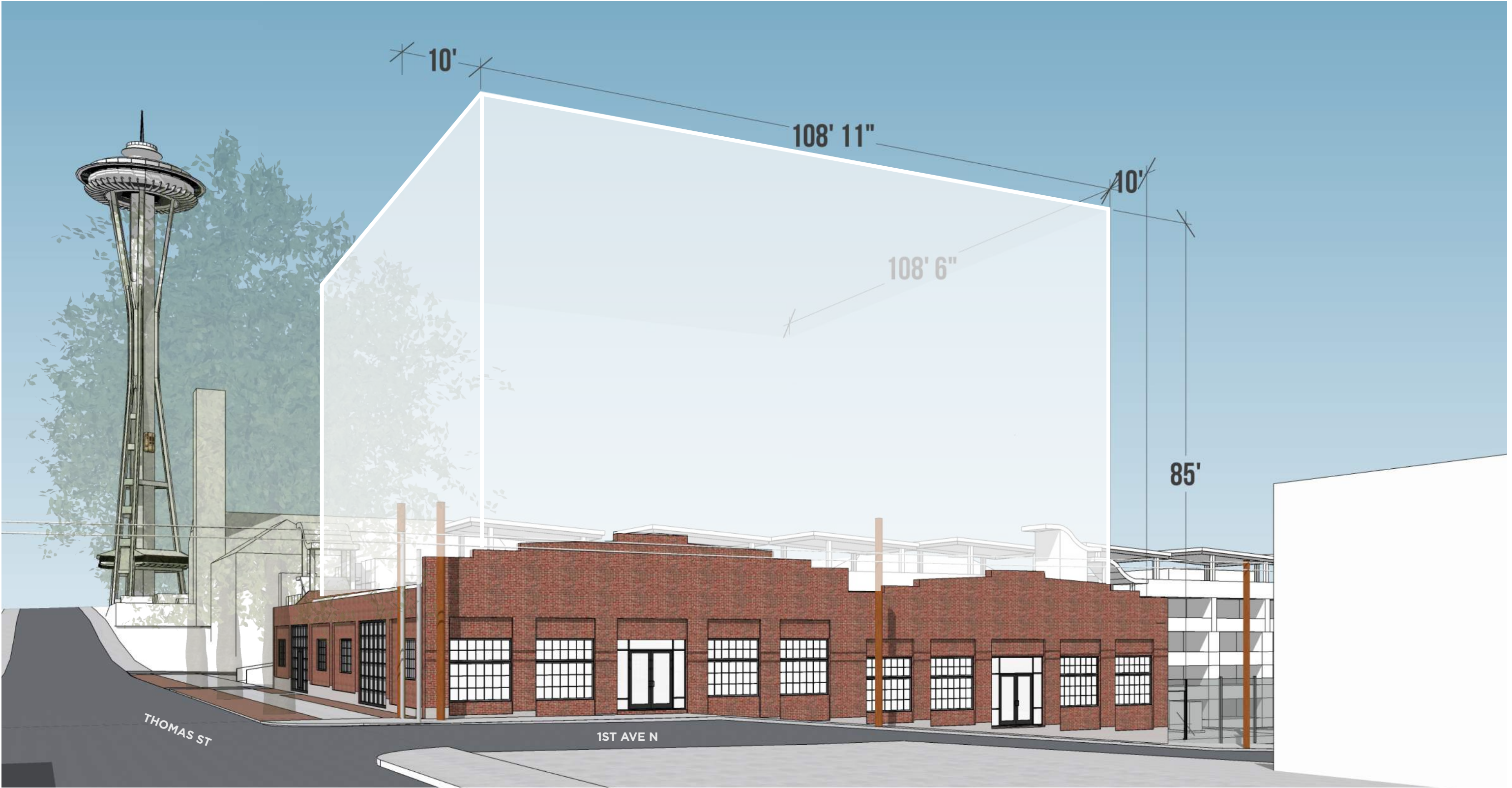
Setback Requirements
In all SM-UP zones, any portion of a structure greater than 45 feet in height or 65 feet in height must be set back from a lot line that abuts a designated street shown on Map A for 23.48.735. A setback of an average of 10 feet from the lot line is required for any portion of a structure exceeding the maximum height that is permitted without a setback

Height
85 feet (23.48.025)



NORTHWEST VIEW

5. ZONING ENVELOPE



SOUTHWEST VIEW

5. ZONING ENVELOPE



NORTH VIEW

5. ZONING ENVELOPE



ALTERNATE MASSING

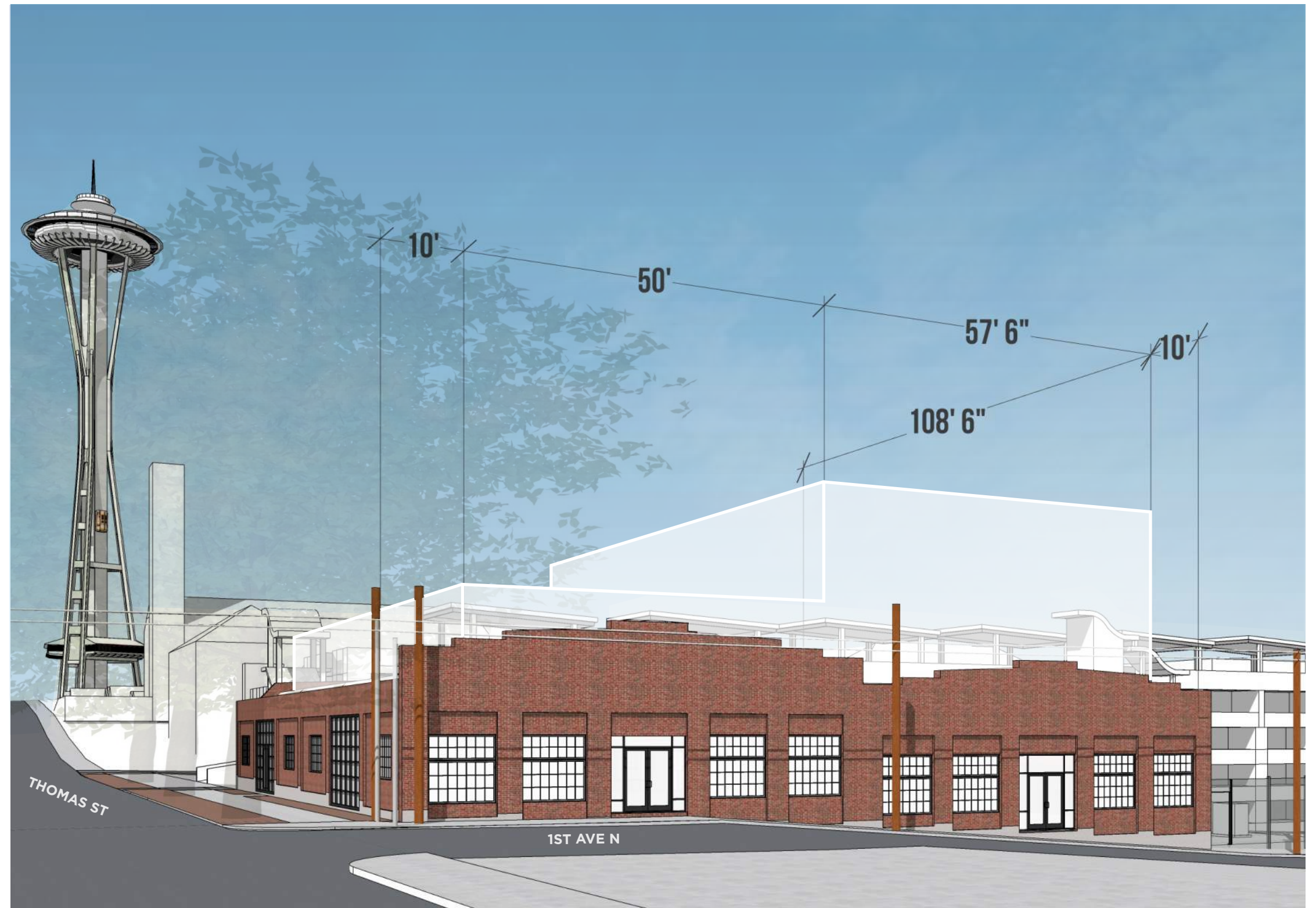
6. MASSING CONCEPT - ALTERNATE

Alternate Massing Concept:

This option proposes the enclosed portion of the second floor along the existing south facade with roughly the north half of the second floor being exterior patio. Unlike the preferred option, the second floor enclosure for this scheme is extended to the 10'-0" western setback. This scheme also introduces a mezzanine space between the existing roof and the second floor which increases the overall height and massing proportions.

The proposed setbacks to the second floor patio are 10'-0" on the North and West, while keeping the new second floor South and East facades nearly flush with the existing exterior facade.

Note: The final feasibility of this option is to be determined by the lessee, pending resolution of the project budget.



NORTHWEST VIEW

6. MASSING CONCEPT - ALTERNATE



SOUTHWEST VIEW

6. MASSING CONCEPT - ALTERNATE



NORTH VIEW

6. MASSING CONCEPT - ALTERNATE



PREFERRED MASSING

6. MASSING CONCEPT - PREFERRED

Design Concept:

The proposed project is a re-purposing of the existing Bressi Garage and the addition of a second floor/roof patio to create an assembly space that will include food, beverages and yard style games. Bressi will be a prohibition era industrial, yet comfortable and stylish large capacity venue that will boast elements of sports and entertainment along with a unique technology to enhance the guest food and beverage experience.

Preferred Massing Option:

The massing of the second floor is proposed in the southeast corner to meet development set back requirements, and to allow the Landmarked Bressi Garage to maintain the historic street and pedestrian experience. By placing the enclosed portion of the building in this nature, it also allows the second floor exterior patio to take advantage of the views to Climate Pledge Arena and the Space Needle.

The proposed setbacks to the second floor patio are 10'-0" on the North and West, while keeping the new second floor east and south facades nearly flush with the exterior facade of the existing building.



NORTHWEST VIEW

6. MASSING CONCEPT - PREFERRED



SOUTHWEST VIEW

6. MASSING CONCEPT - PREFERRED



NORTH VIEW

6. MASSING CONCEPT - PREFERRED



RECAP

7. MASSING OPTIONS SUMMARY



ZONING ENVELOPE



ALTERNATE MASSING



PREFERRED MASSING





BRESSI GARAGE

THANK YOU.